

G.C. HOMES, INCORPORATED

OWNER - DEVELOPER

14425 COUNTRY WALK DRIVE MIAMI, FLORIDA

SUMMERVILLE
GOULDS, MIAMI - DADE COUNTY, FLORIDA

TYPE I Large House

ROSELLO BALBOA + LORDI

ARCHITECTURE & TOWN PLANNING

13370 SOUTHWEST 131ST STREET SUITE 104 MIAMI, FLORIDA 33186
TELEPHONE: 786.293.2313 FACSIMILE: 786.293.2344 MAIL@RBLARCHITECTURE.COM

BUILDING USE

1. USES OF THE BUILDINGS AS SHOWN HERE ARE RESIDENTIAL OCCUPANCY.
2. OTHER FOLLOWING USES ARE ADDITIONALLY PERMITTED FOR OUT BUILDINGS/CARRIAGE HOUSE SUCH AS WORKSHOP, GUEST COTTAGE, ARTIST STUDIO SAUNA, POOL HOUSE EQUIPMENT ENCLOSURE, GAZEBO, CONSERVATORY.

BUILDING PLACEMENT

1. BUILDINGS SHALL BE SET ON LOTS RELATIVE TO THE PROPERTY LINES AS SHOWN HERE.

PARKING

1. PARKING SPACES SHALL BE PROVIDED WITHIN THE AREAS SHOWN.
2. NUMBER OF PARKING SPACES INDICATED SHALL BE CONSIDERED TO BE THE REQUIRED MINIMUM.

PERMITTED ENCROACHMENT

1. THE FOLLOWING ARCHITECTURAL ELEMENTS, SUCH AS STOOPS, BALCONIES, OPEN PORCHES, COVERED WALKWAYS, BAY WINDOWS, AND RAISED DOOR YARDS, SHALL BE PERMITTED TO ENCROACH WITHIN THE PARAMETERS SHOWN HERE.
2. GARDEN WALLS AND FENCES SHALL BE MANDATORY AS SHOWN HERE. WALLS SHOULD BE OF MASONRY AND FENCES OF WOOD, OR ELEMENTS AS OTHERWISE NOTED.

BUILDING HEIGHT

1. HEIGHTS SHALL BE MEASURED RELATIVE TO THE FRONTING STREET ELEVATION AND A SPECIFIED POINT ON THE BUILDING.
2. MINIMUM AND MAXIMUM BUILDING HEIGHTS SHALL BE MEASURED IN NUMBER OF FLOORS EACH NOT TO EXCEED 12' FLOOR TO CEILING.

LEGEND

- VISIBILITY TRIANGLE
- ALLOWABLE ENCROACHMENT
- REQ'D CHARACTERISTIC LOCATION
- HOUSE TYPE LOCATION



JUNE 9, 2004

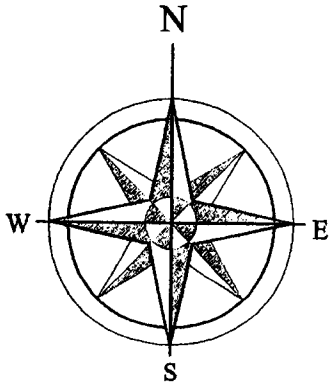
Five Minute Walk

PARCEL I

PARCEL II

PARCEL III

NOT PART OF THIS APPLICATION

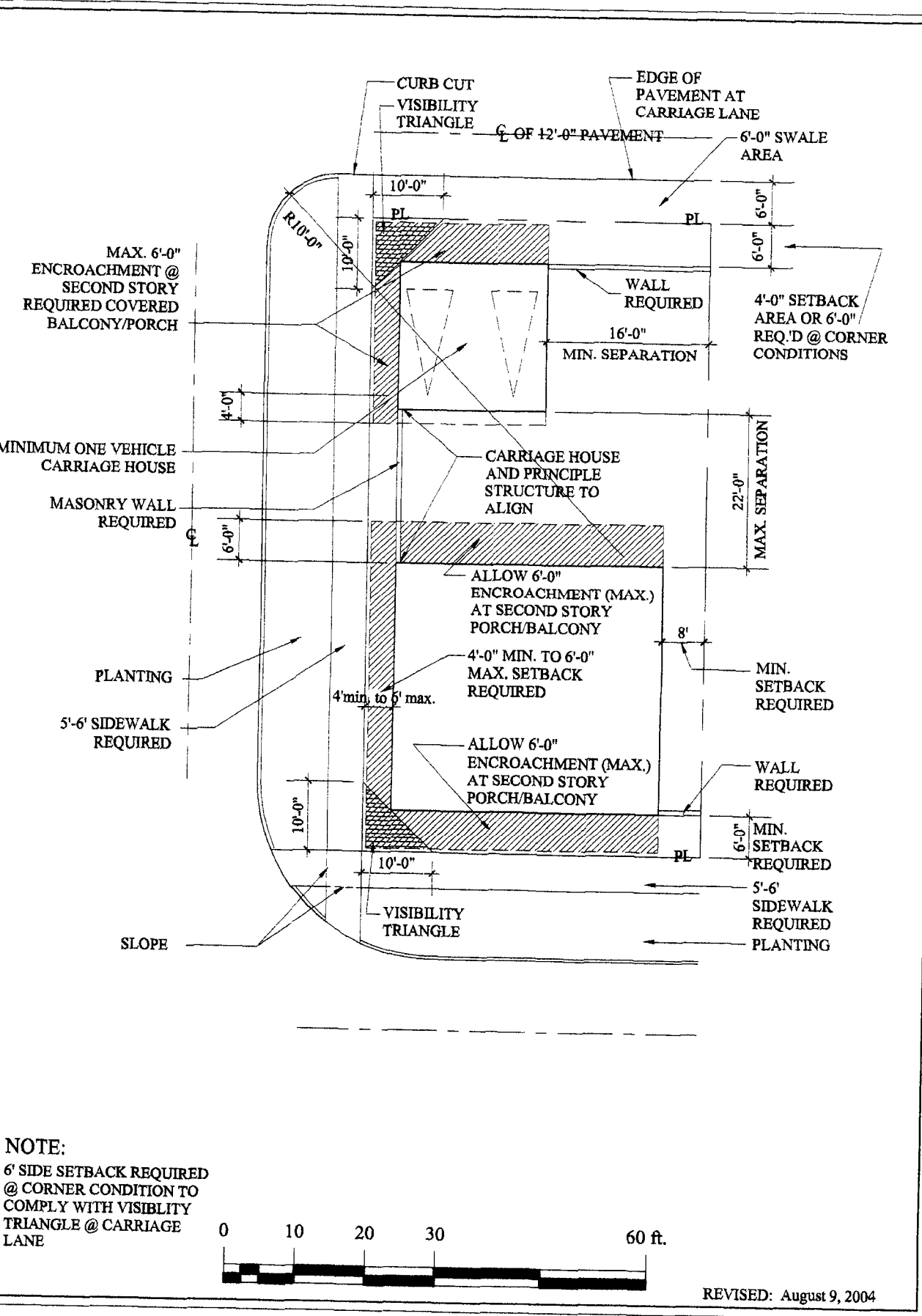


LOT TYPE I
LARGE HOUSE

Architecture Style : West Indies

Archetype Characteristics and Development Parameters:

- Two (2) Stories Max.
- Second Story Wrap Around Porch or Covered Sleeping Balcony at street frontage required
- Detached Carriage House Required: Two (2) Stories Maximum
- Front Stoop Required: Max. stoop height = 28", Min. = 16"
- Maximum Height to Roof Eave at Principle Structure = 21'-0" to 30'-0" above first finished floor
- Perimeter Walls Required: Wall Height 3'-0" minimum to 5'-0" maximum
- Carriage Lane required at rear property line
- Required wall @ street shall be masonry; @ alley or between houses, a wood, chainlink, or masonry fence can be used
- All swimming pools shall be 1'-6" from building foundation or perimeter walls.

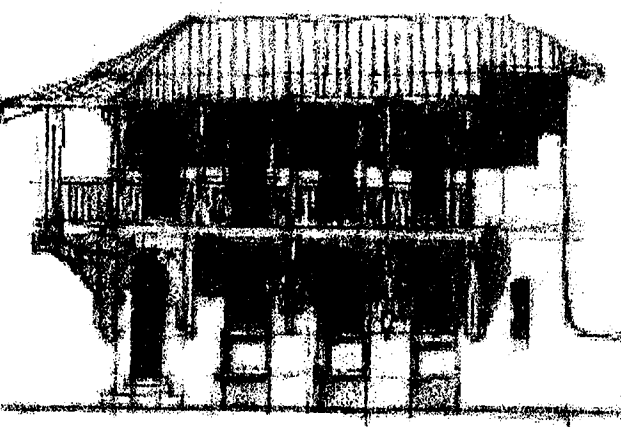


NOTE:
6" SIDE SETBACK REQUIRED @ CORNER CONDITION TO COMPLY WITH VISIBILITY TRIANGLE @ CARRIAGE LANE

REVISED: August 9, 2004

- Proposed Unit Maximum Interior Gross Square Footage: 2,500 sq. ft.
- Minimum Unit Private Open Space Provided: 1.25 x Unit Interior Gross Square Footage
- Minimum Lot Square Footage: 4,324 sq. ft.
- Minimum Street Frontage Required: 70%
- Proposed Number of Units: 8
- Max. Dwelling Lot Coverage: 1,896 sq. ft.

Must the
Exact Amount
of # Needs
to Conclude
New
Agreement



CONCEPTUAL ELEVATION

Rev#1
RECEIVED
2004-13
AUG 10 2004

SHEET 10 OF 21

ZONING HEARING SECTION
MIAMI-DADE PLANNING AND ZONING DEPT.
BY

G.C. HOMES, INCORPORATED

OWNER - DEVELOPER

14425 COUNTRY WALK DRIVE MIAMI, FLORIDA

SUMMERVILLE
GOULDS, MIAMI - DADE COUNTY, FLORIDA

TYPE IIA Park House

ROSELLO BALBOA + LORDI

ARCHITECTURE & TOWN PLANNING

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BUILDING USE

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BUILDING PLACEMENT

- BUILDINGS SHALL BE SET ON LOTS RELATIVE TO THE PROPERTY LINES AS SHOWN HERE.

PARKING

- PARKING SPACES SHALL BE PROVIDED WITHIN THE AREAS SHOWN.
- NUMBER OF PARKING SPACES INDICATED SHALL BE CONSIDERED TO BE THE REQUIRED MINIMUM.

PERMITTED ENCROACHMENT

- THE FOLLOWING ARCHITECTURAL ELEMENTS, SUCH AS STOOPS, BALCONIES, OPEN PORCHES, COVERED WALKWAYS, BAY WINDOWS, AND RAISED DOOR YARDS, SHALL BE PERMITTED TO ENCROACH WITHIN THE PARAMETERS SHOWN HERE.
- GARDEN WALLS AND FENCES SHALL BE MANDATORY AS SHOWN HERE. WALLS SHOULD BE OF MASONRY AND FENCES OF WOOD, OR ELEMENTS AS OTHERWISE NOTED.

BUILDING HEIGHT

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LEGEND

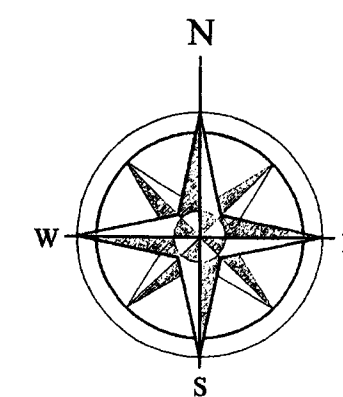
VISIBILITY TRIANGLE	
ALLOWABLE ENCROACHMENT	
REQ'D CHARACTERISTIC LOCATION	
HOUSE TYPE LOCATION	

PARCEL I

PARCEL II

PARCEL III

NOT PART OF THIS APPLICATION



JUNE 9, 2004

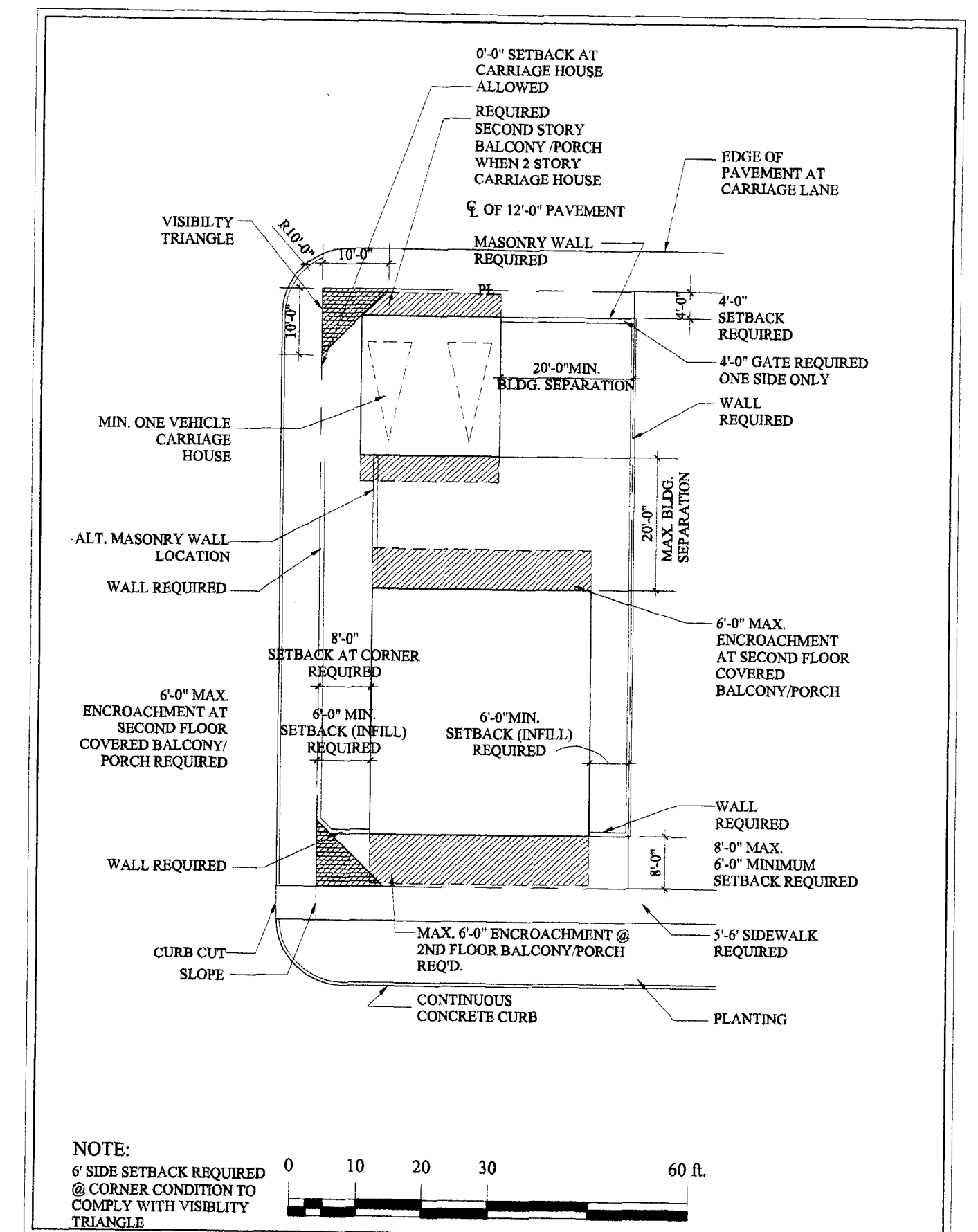
Five Minute Walk

LOT TYPE IIA PARK HOUSE

Architecture Style: St. Augustine, Florida (Historic)

Archetype Characteristics and Development Parameters:

Max. One (1) or Two (2) Stories
Second Story Porch or Covered Sleeping Balcony at street frontage required
Detached Carriage House Required: Two (2) Stories Maximum
Front Stoop Required: Max. Stoop Height = 28", Min. = 16"
Maximum Height to Roof Eave at Principle Structure = 21'-0" to 30'-0" Above First Finished Floor
Maximum Roof Eave at Second Story Carriage House = 18'-0" - 22'-0" Above Finished Grade
Perimeter Walls Required: Wall Height 3'-0" Min. to 8'-0" Max.
Carriage Lane Required at Rear Property Line
Required wall @ street shall be masonry; @ alley or between houses, a wood, chainlink, or masonry fence can be used
All swimming pools shall be 1'-6" from building foundation or perimeter walls.



NOTE:
6'-0\"/>

Proposed Unit Maximum Interior Gross Square Footage:	2,450 sq.ft.
Minimum Unit Private Open Space Provided:	1.25 x Unit Interior Gross Square Footage
Minimum Lot Square Footage:	4,460 sq.ft. 4,140 #
Minimum Street Frontage Required:	68'
Proposed Number of Units:	17
Max. Dwelling Lot Coverage:	2,000 sq.ft. 1,780 #



CONCEPTUAL ELEVATION

Rev#1
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AUG 10 2004

SHEET 11 OF 21

ZONING HEARING SECTION
MIAMI-DADE PLANNING AND ZONING DEPT.
BY: [Signature]

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OWNER - DEVELOPER

14425 COUNTRY WALK DRIVE MIAMI, FLORIDA

SUMMERVILLE GOULDS, MIAMI - DADE COUNTY, FLORIDA

TYPE IIB Park House

ROSELLO BALBOA + LORDI

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LEGEND

- VISIBILITY TRIANGLE
- ALLOWABLE ENCROACHMENT
- REQ'D CHARACTERISTIC LOCATION
- HOUSE TYPE LOCATION



JUNE 7, 2004

Five Minute Walk

PARCEL I

PARCEL II

PARCEL III

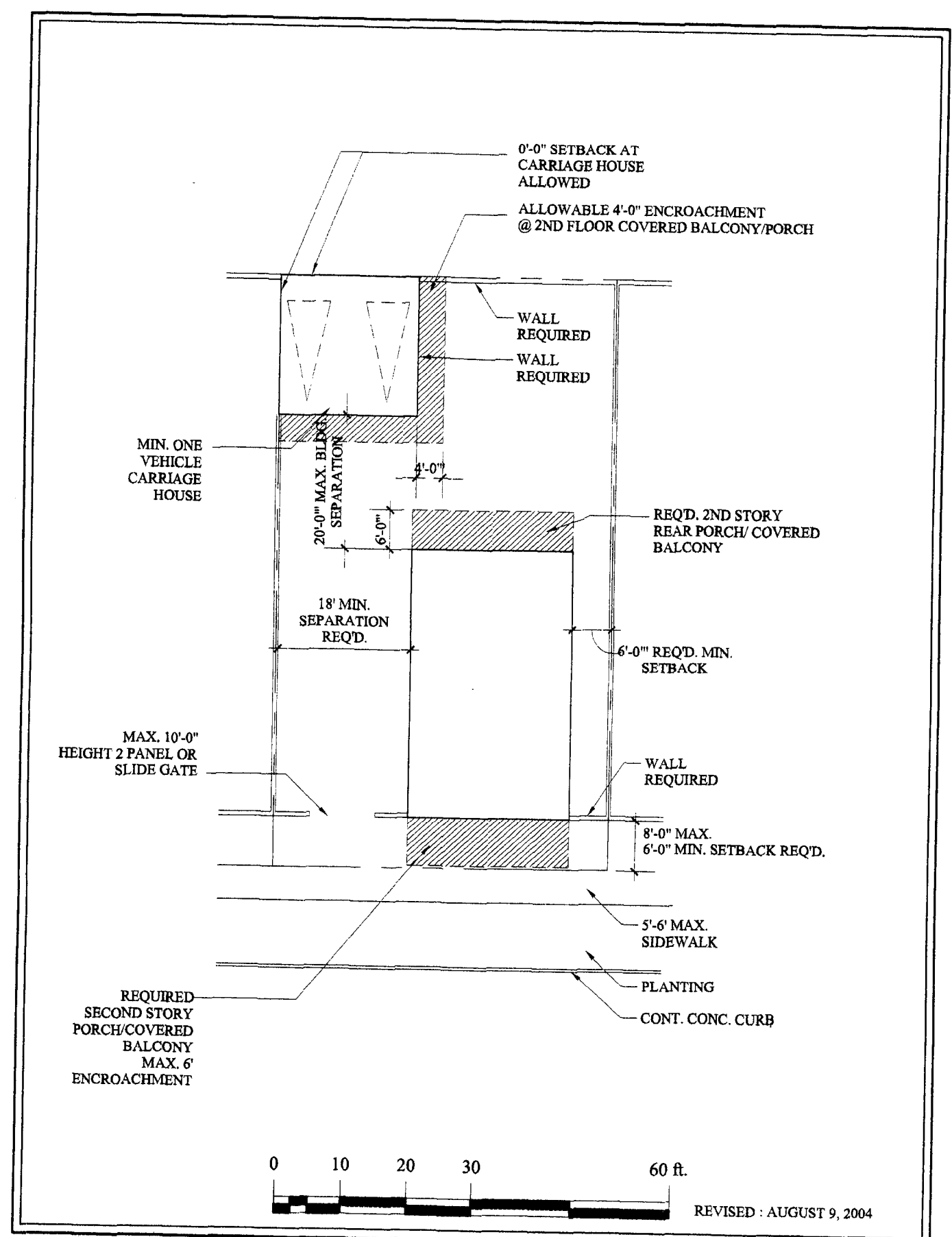
NOT PART OF THIS APPLICATION

LOT TYPE IIB PARK HOUSE

Architecture Style : St. Augustine, Florida (Historic)

Archetype Characteristics and Development Parameters:

Two (2) Stories Max.
Second Story Porch or Covered Sleeping Balcony at street frontage required
Detached Carriage House Required: Two (2) Stories Maximum
Front Stoop Required: Max. Stoop Height = 28", Min = 16"
Maximum Height to Roof Eave at Principle Structure = 21'-0" to 30'-0" Above First Finished Floor
Maximum Roof Eave at Second Story Carriage House = 18'-0" - 22'-0" Above Finished Grade
Perimeter Walls Required: Wall Height 3'-0" Min. to 8'-0" Max.
Carriage Lane not Required at Rear Property Line
Required wall @ street shall be masonry; @ alley or between houses, a wood, chainlink, or masonry fence can be used
All swimming pools shall be 1'-6" from building foundation or perimeter walls.



Proposed Unit Maximum Interior Gross Square Footage: 3,000 sq. ft.
Maximum Unit Private Open Space Provided: 1.25 X Unit Interior Gross Square Footage 3,775 sq. ft.
Minimum Lot Square Footage: 4,500 sq. ft. New
Minimum Street Frontage Required: 45%
Proposed Number of Units: 28
Max. Dwelling Lot Coverage: 1,740 sq. ft. ✓



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MIAMI-DADE PLANNING & ZONING DEPT.
BY: [Signature]

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OWNER - DEVELOPER

14425 COUNTRY WALK DRIVE MIAMI, FLORIDA

SUMMERVILLE
GOULDS, MIAMI - DADE COUNTY, FLORIDA

TYPE IIIA Large Courtyard House

ROSELLO BALBOA + LORDI

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PERMITTED ENCROACHMENT

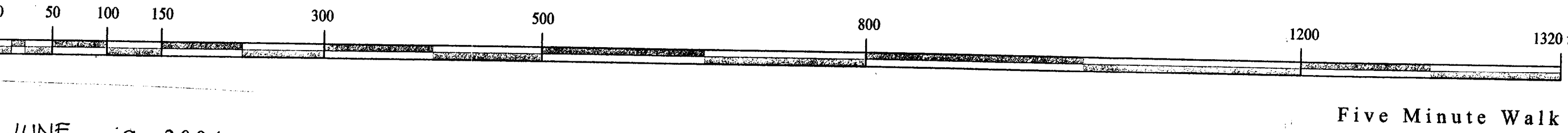
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BUILDING HEIGHT

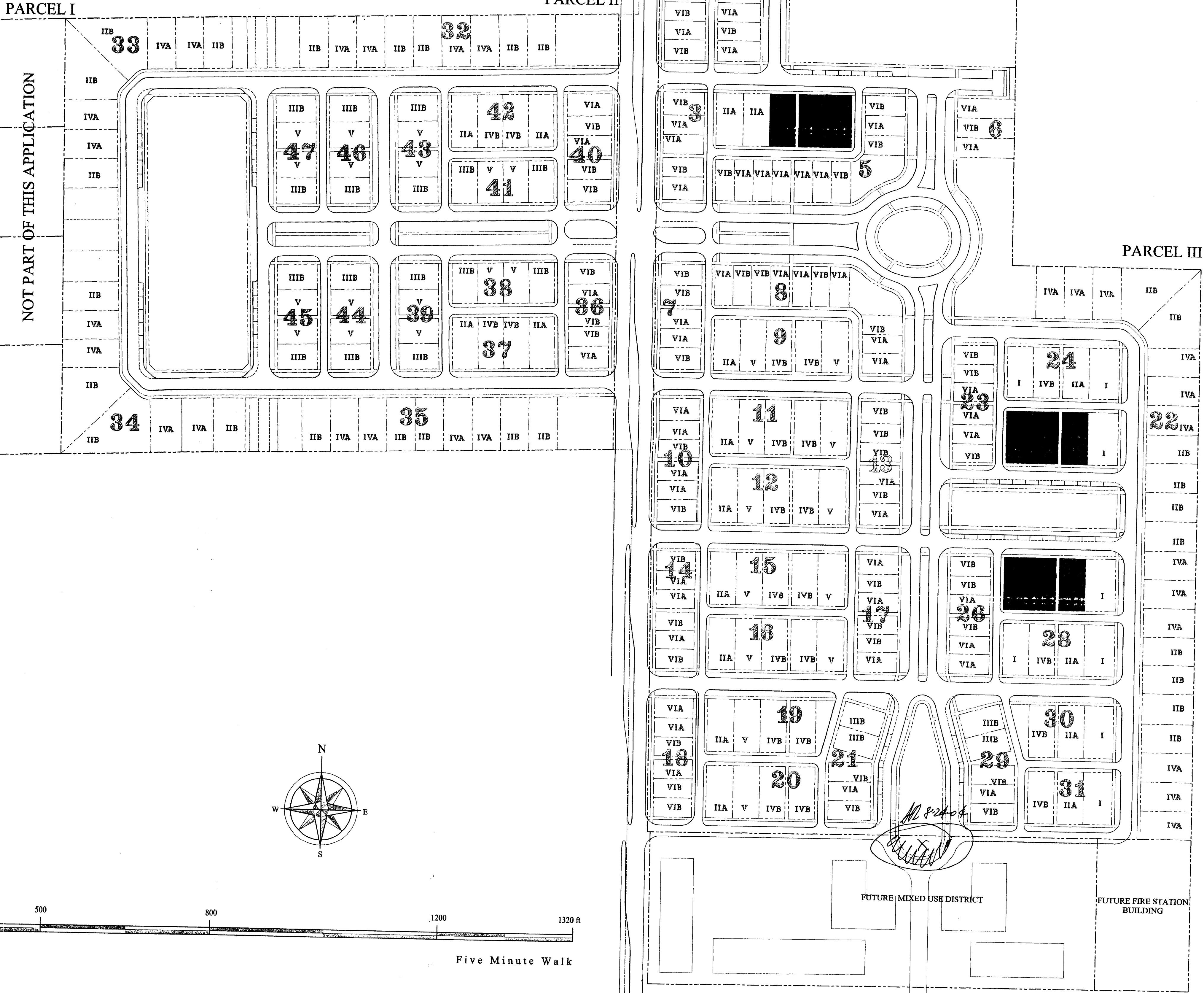
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LEGEND

- VISIBILITY TRIANGLE
- ALLOWABLE ENCROACHMENT
- REQ'D CHARACTERISTIC LOCATION
- HOUSE TYPE LOCATION



JUNE 9, 2004

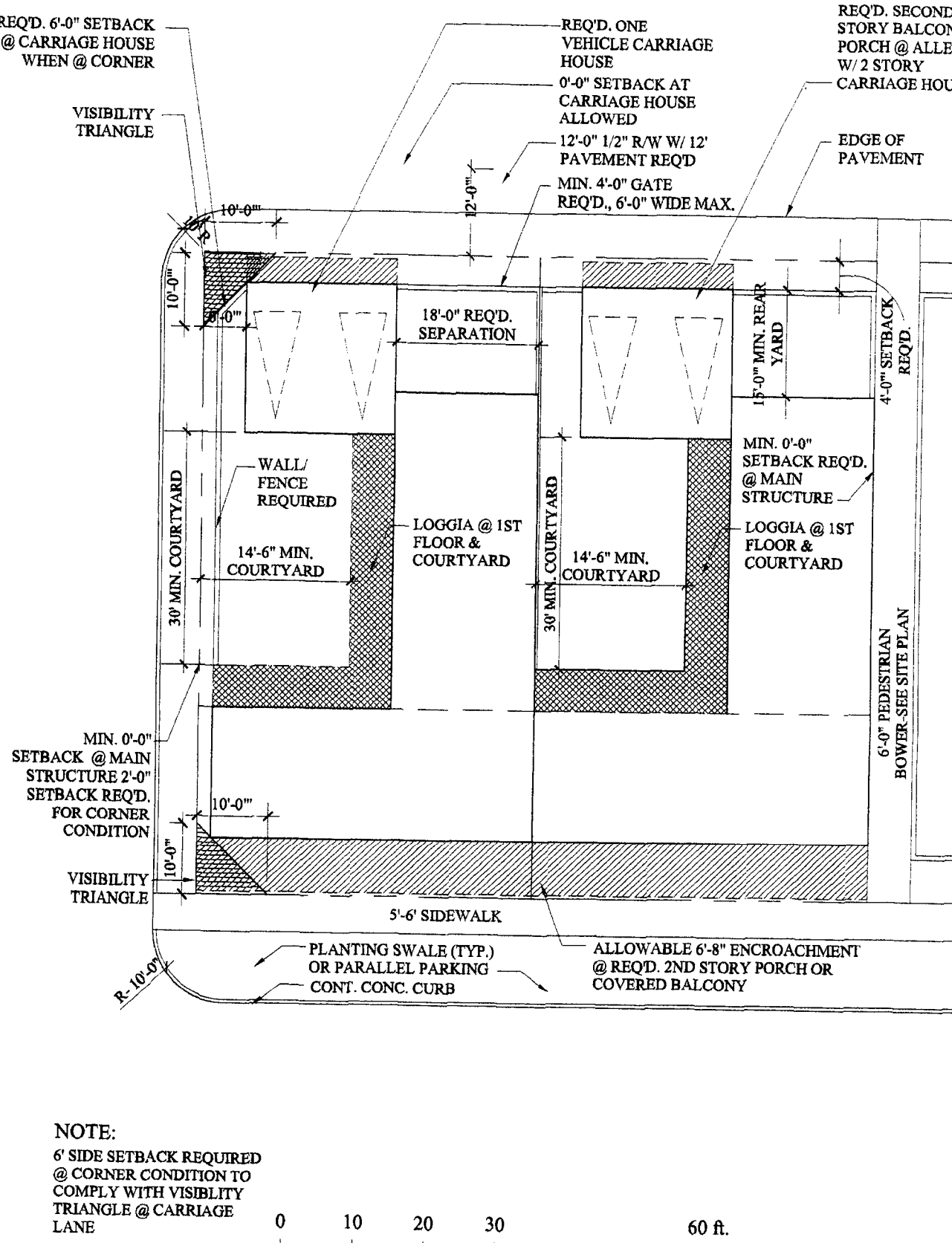


LOT TYPE IIIA
LARGE COURTYARD HOUSE

Architecture Style : New Orleans Style

Archetype Characteristics and Development Parameters:

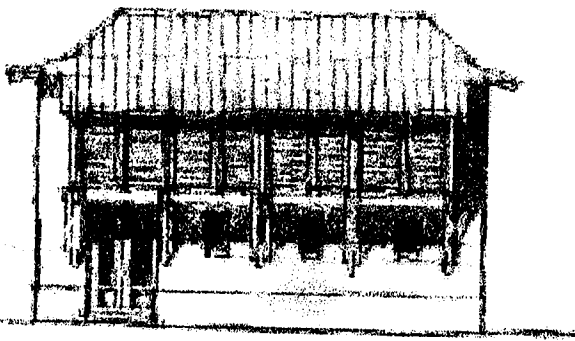
- One (1) or Two (2) Stories
- Porch or Covered Sleeping Balcony at street frontage required
- Second Story Porch or Covered Sleeping Balcony at Carriage Way frontage required w/ 1 story carriage house
- Attached or Detached Carriage House Required: Two (2) Stories Maximum
- Interior Courtyard with Loggia Porch Required
- Front Stoop Required: Max. Stoop Height = 28", Min = 16"
- Maximum Height to Roof Eave at Principle Structure = 21'-0" to 30'-0" Above First Finished Floor
- Maximum Roof Eave at Second Story Carriage House = 18'-0" - 22'-0" Above Finished Grade
- Perimeter Walls Required: Wall Height 3'-10" Min. to 10'-0" Max.
- Carriage Lane Required at Rear Property Line
- Required wall @ street shall be masonry; @ alley or between houses, a wood, chainlink, or masonry fence can be used
- All swimming pools shall be 1'-6" from building foundation or perimeter walls.



NOTE:
6' SIDE SETBACK REQUIRED @ CORNER CONDITION TO COMPLY WITH VISIBILITY TRIANGLE @ CARRIAGE LANE

REVISED: AUGUST 9, 2004

Proposed Unit Maximum Interior Gross Square Footage: 2,450 sq. ft.
Minimum Unit Private Open Space Provided: 1.25 (attached) x Unit Interior Gross Square Footage
Minimum Lot Square Footage: 4,140 sq. ft.
Minimum Street Frontage Required: 87%
Proposed Number of Units: 9
Max. Dwelling Lot Coverage: 2,430



CONCEPTUAL ELEVATION

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AUG 10 2004

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14425 COUNTRY WALK DRIVE MIAMI, FLORIDA

SUMMERVILLE
GOULDS, MIAMI - DADE COUNTY, FLORIDA

TYPE IIIB Small Courtyard House

ROSELLO BALBOA + LORDI

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BUILDING HEIGHT

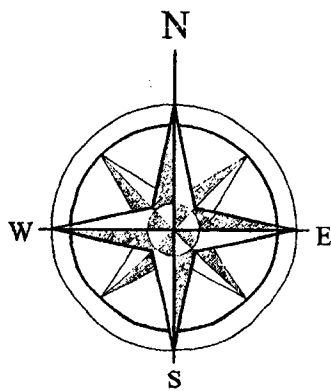
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LEGEND

- VISIBILITY TRIANGLE
- ALLOWABLE ENCROACHMENT
- REQ'D CHARACTERISTIC LOCATION
- HOUSE TYPE LOCATION



Five Minute Walk



PARCEL I

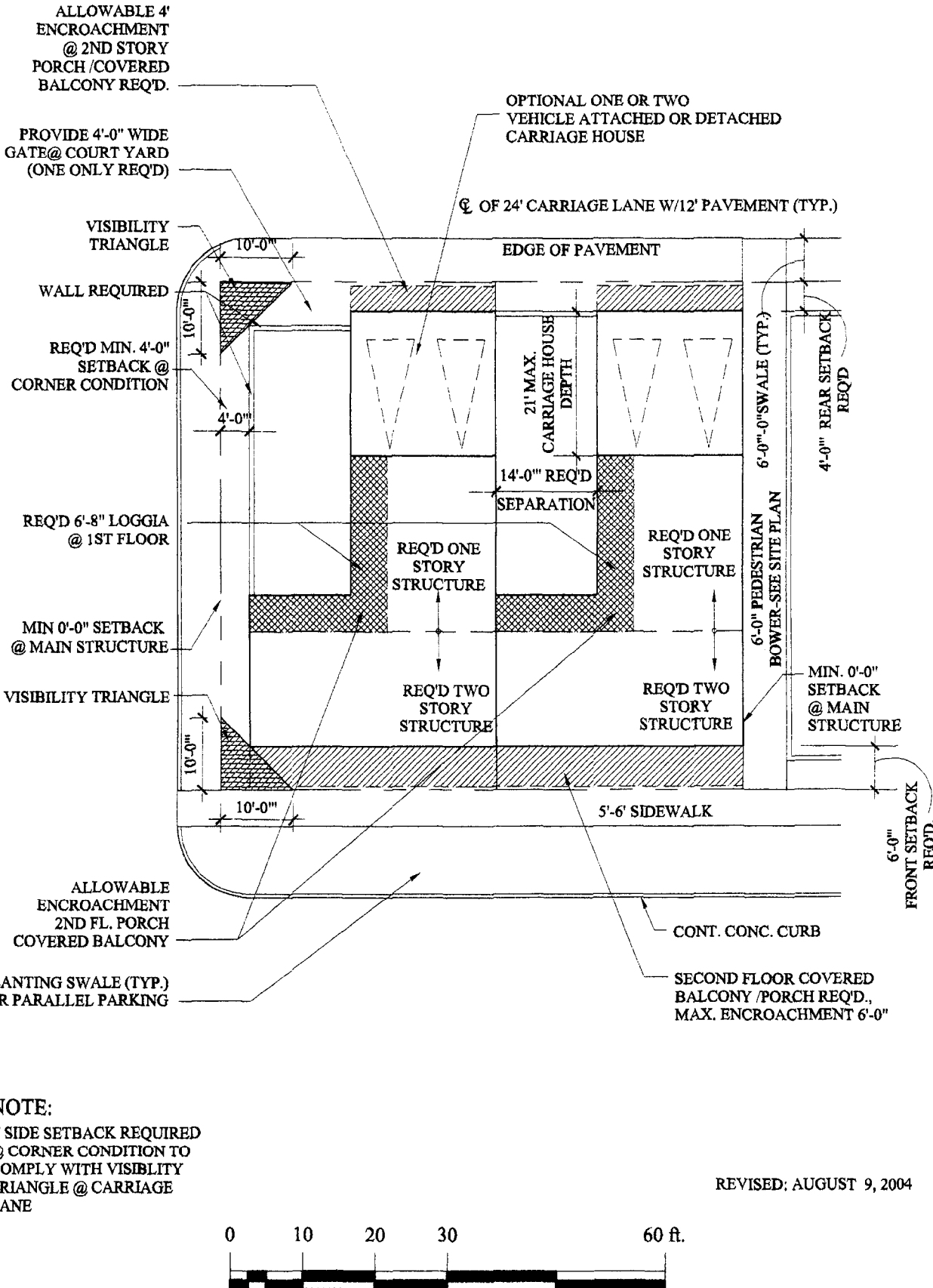
PARCEL II

PARCEL III

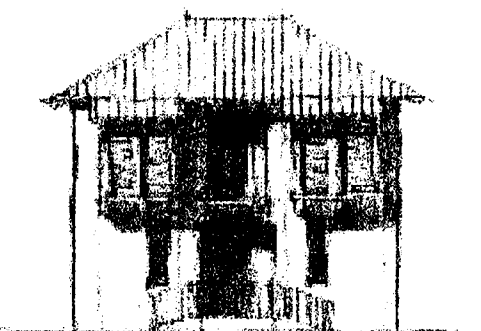
NOT PART OF THIS APPLICATION

LOT TYPE IIIB
SMALL COURTYARD HOUSE

Architecture Style : New Orleans Style
Archetype Characteristics and Development Parameters:
Two (2) Stories Maximum
Second Story Porch or Covered Sleeping Balcony at street frontage required
Optional Detached or Attached Carriage House: Two (2) Stories Maximum
Front Stoop Required: Max. Stoop Height = 28", Min = 16"
Interior Courtyard with Loggia/Porch Req'd.
Maximum Height to Roof Eave at Principle Structure = 26'-0" to 30'-0" Above First Finished Floor
Maximum Roof Eave at Second Story Carriage House = 20'-0" - 22'-0" Above Finished Grade
Perimeter Walls Required: Wall Height 3'-0" Min. to 10'-0" Max.
Carriage Lane Required at Rear Property Line
All swimming pools shall be a minimum of 1'-6" from building foundation or perimeter walls.
Required wall @ street shall be masonry, @ alley or between houses a wood, chainlink, or masonry fence can be used



Proposed Unit Maximum Interior Gross Square Footage: 1,825 sq.ft.
Minimum Unit Private Open Space Provided: 0.6 x Unit Interior Gross Square Footage = 1,095 sq.ft.
Minimum Lot Square Footage: 2,022 sq.ft. 3,150 sq.ft.
Minimum Street Frontage Required: 80%
Proposed Number of Units: 20
Max. Dwelling Lot Coverage: 1,904 sq.ft.



CONCEPTUAL ELEVATION